

ADDENDUM NO. 01

DATE: 05/11/23

PROJECT:

Thomas Jefferson Middle School Kitchen Remodel
Madera, CA 93637
Client Bid No: 031623

OWNER:

Madera Unified School District
1205 South Madera Avenue
Madera, CA 93637

ARCHITECT:

DARDEN ARCHITECTS, INC.
Attention:
6790 N. West Avenue
Fresno, California 93711
T. (559) 448-8051
F. (559) 446-1765

DARDEN PROJECT NO. 2212
DSA File No. 20-30
DSA APPL. NO. 02-120517

It will be the responsibility of the General Contractor to submit the information contained in this addendum to all its subcontractors and suppliers. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

The following additions, deletions, and revisions to the SHEETS and Project Manual are hereby made and do become a part of these Contract Documents.

INDEX OF ADDENDA TRANSMITTED HEREWITH

PROJECT MANUAL:

BIDDING AND CONTRACT REQUIREMENTS:

CHANGES TO CONTRACT FORMSAD1-CCF01

SPECIFICATIONS:

CHANGES TO SPECIFICATIONS AD1-SP01

SHEETS:

CHANGES TO SHEETS:

ARCHITECTURALAD1-A01 THRU AD1-A05

MECHANICAL AD1-M01

ATTACHMENTS:

SHEETS:

ARCHITECTURALAD1-AX01 THRU AD1-AX05

MECHANICALAD1-MX01

PROJECT MANUAL:

BIDDING AND CONTRACT REQUIREMENTS:

CHANGES TO CONTRACT FORMS:

AD1-CCF01 Add Estimate below:

1. Project Estimate is \$1,525,625.

CHANGES TO SPECIFICATIONS:

AD1-SP01 Refer to Specification Section 033510, POLISHED CONCRETE FINISHING:

1. Refer Spec Section 033510 and omit. No polished concrete scope in project

SHEETS:

CHANGES TO SHEETS:

ARCHITECTURAL:

AD1-A01 Add Sheet AD1-AX01, CEMENT PLASTER, Infill Detail:

1. See sheet AD1-AX01. Add detail to project on sheet at A11, X/A101. Plaster infill detail added

AD1-A02 Refer to Sheet C/100, DEMOLITION FLOOR AND REFLECTED CEILING PLAN:

1. Refer to C/A100 and revise as shown per the attached AD1-AX02. Clerestory window frames to be removed and disposed of.

AD1-A03 Refer to Sheet C/A401, EXTERIOR ELEVATIONS:

1. Refer to C/A401, West Elevation and revise as shown per the attached AD1-AX03. Window infill scope indicated

AD1-A04 Refer to Sheet D/A101, FLOOR AND REFLECTED CEILING PLAN:

1. Refer to D/A101 and revise as shown per the attached AD1-AX04. Changes are shown in clouded area(s). Anticipated tile patch area added

AD1-A05 Refer to Sheet X/A401, OPENING SCHEDULES, FRAME ELEVATIONS:

1. Refer to X/A401, Detail E10 and omit HM-8.

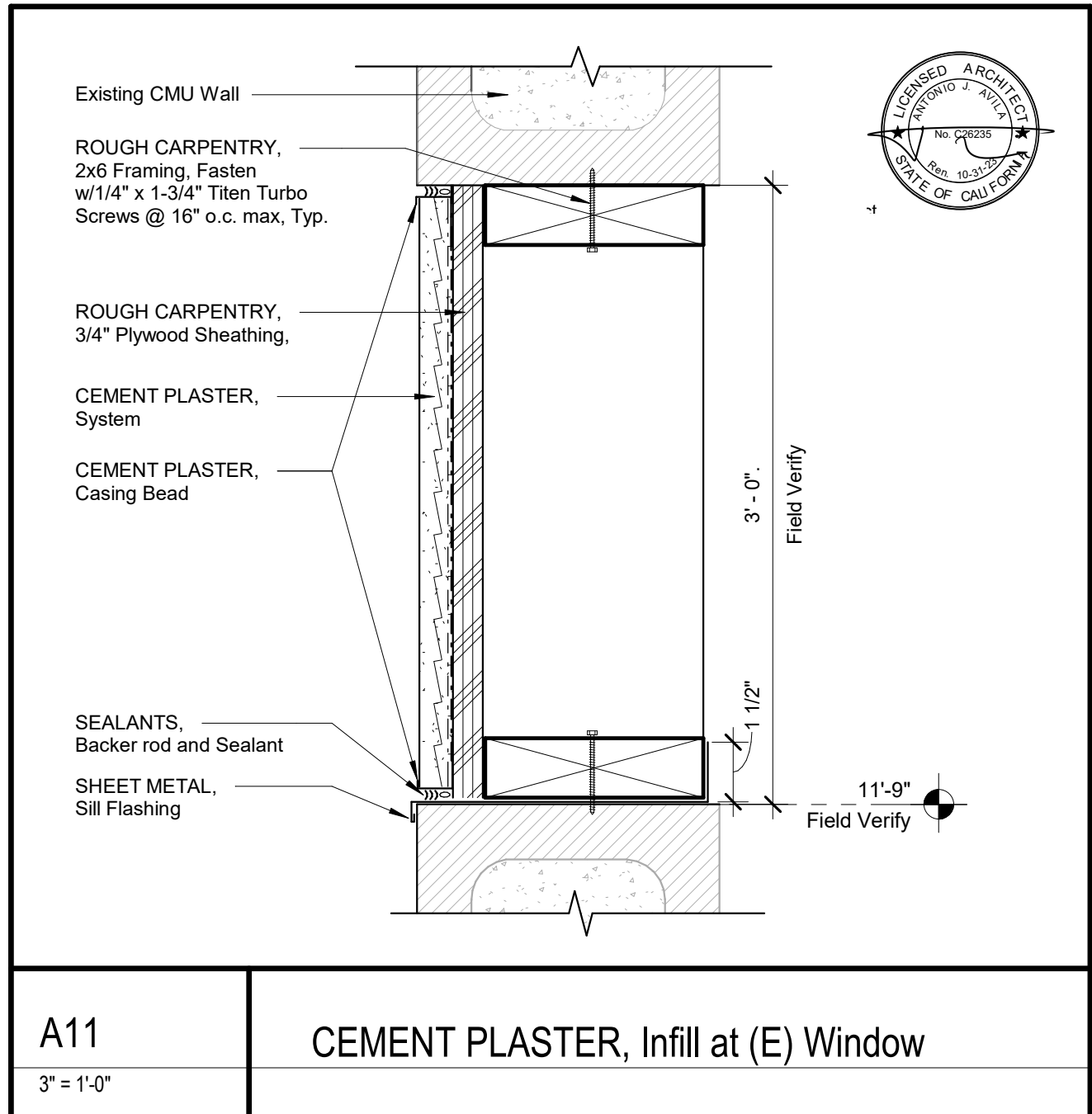
MECHANICAL:

AD1-M01 Refer to Sheet M/C301, HVAC ROOF DEMOLITION PLAN & NEW HVAC ROOF PLAN:

1. Refer to M/C301 and revise as shown per the attached AD1-MX01. Changes are shown in clouded area(s).

END OF ADDENDUM NO. 1

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Add to sheet X/A101

DSA File No: 20-30
OSHPD No: OSHPD0517



ARCHITECTURE · PLANNING · INTERIORS

Robert L. Petithomme AIA · Antonio J. Avila AIA · DeDe Darnell ASID
Grant E. Dodson AIA · Michael K. Fennacy AIA · Andrew A. Corral AIA
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Project No:	2123
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Date:	03/28/23
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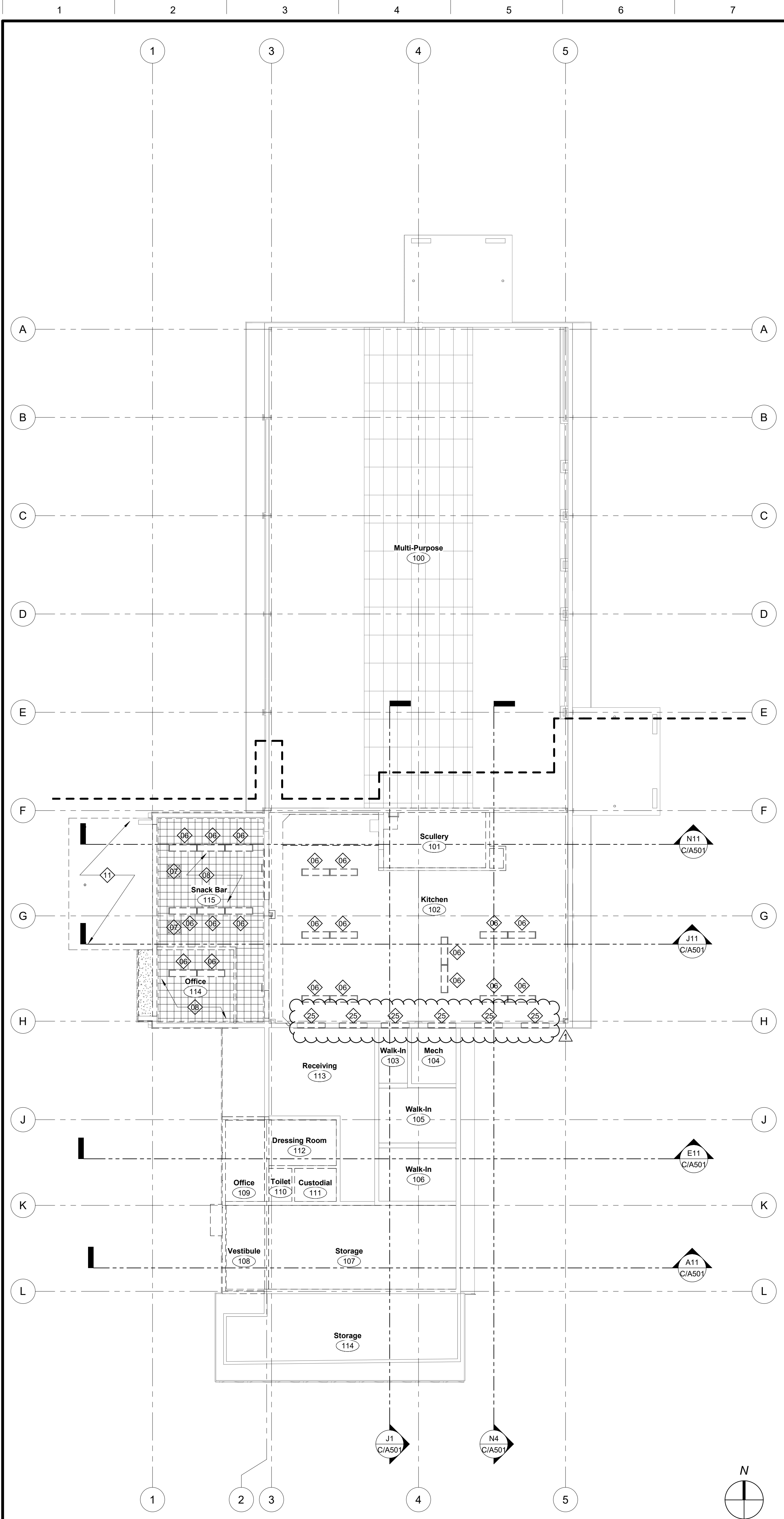
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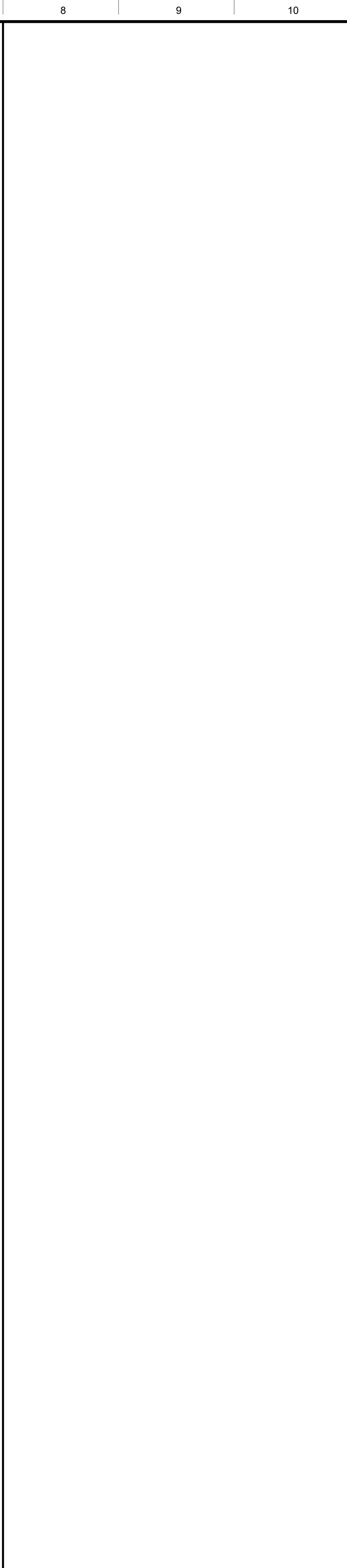
THOMAS JEFFERSON M. S. KITCHEN REMODEL
MADERA UNIFIED SCHOOL DISTRICT
Madera, CA

AD1-AX01

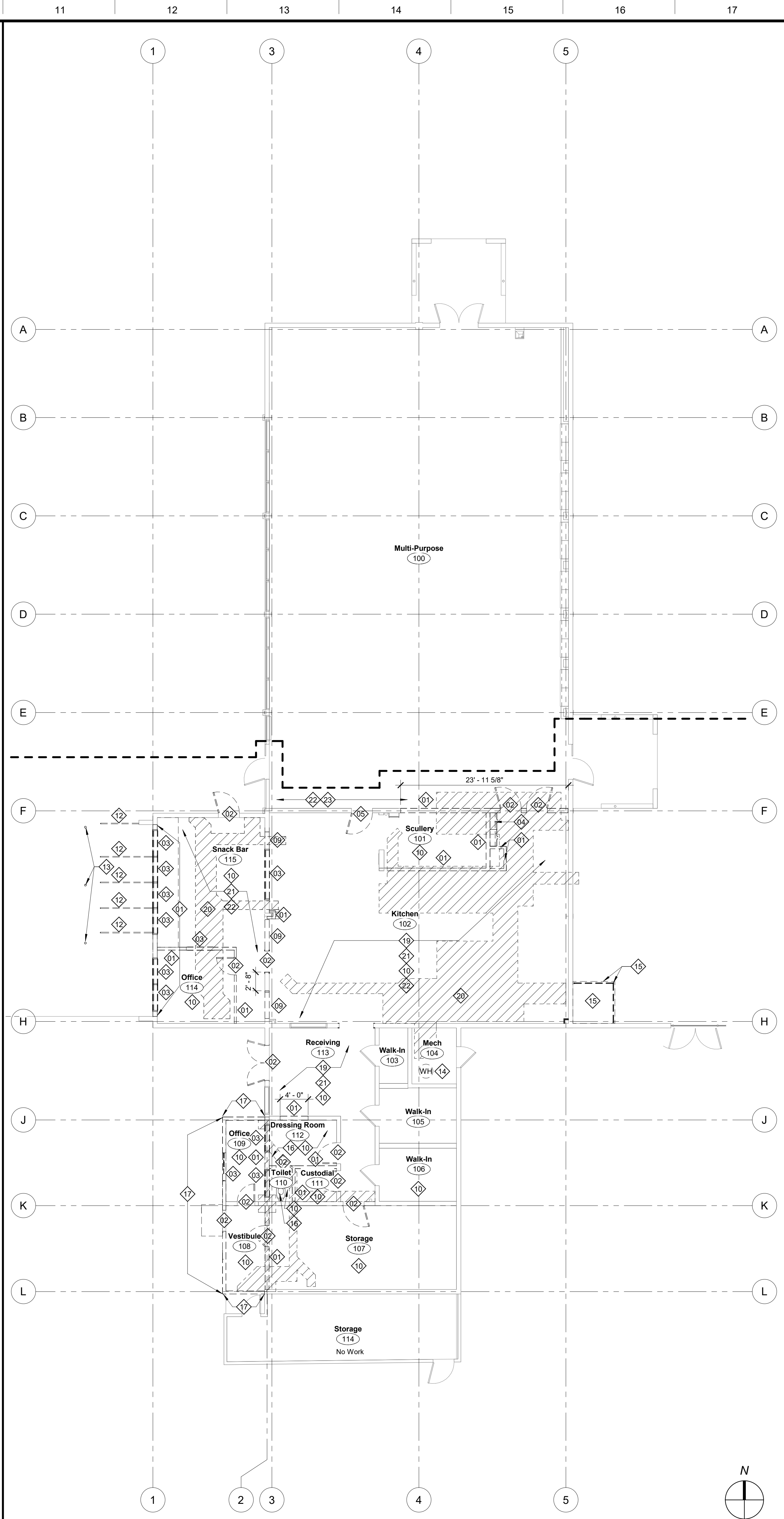
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A1 Demolition Reflected Ceiling Plan
1/8" = 1'-0"
Refer to E18 for Legend.



A11 Demolition Floor Plan
1/8" = 1'-0"
Refer to E18 for Legend.



A11 Demolition Floor Plan
1/8" = 1'-0"
Refer to E18 for Legend.

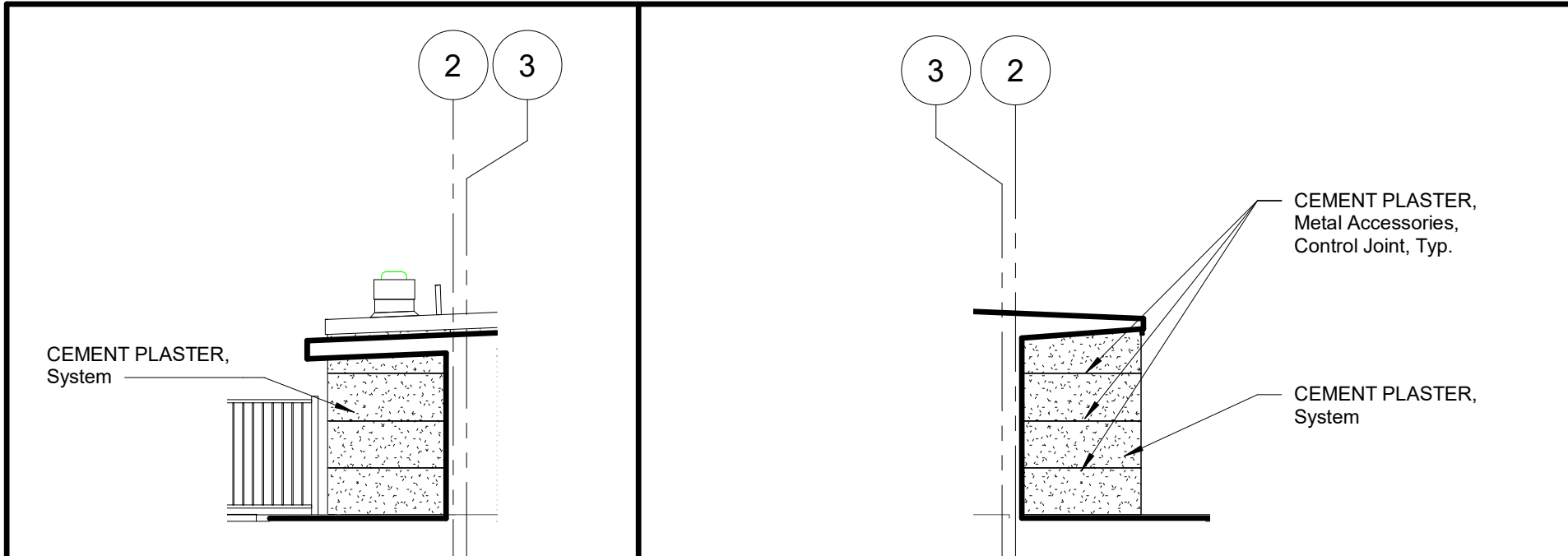
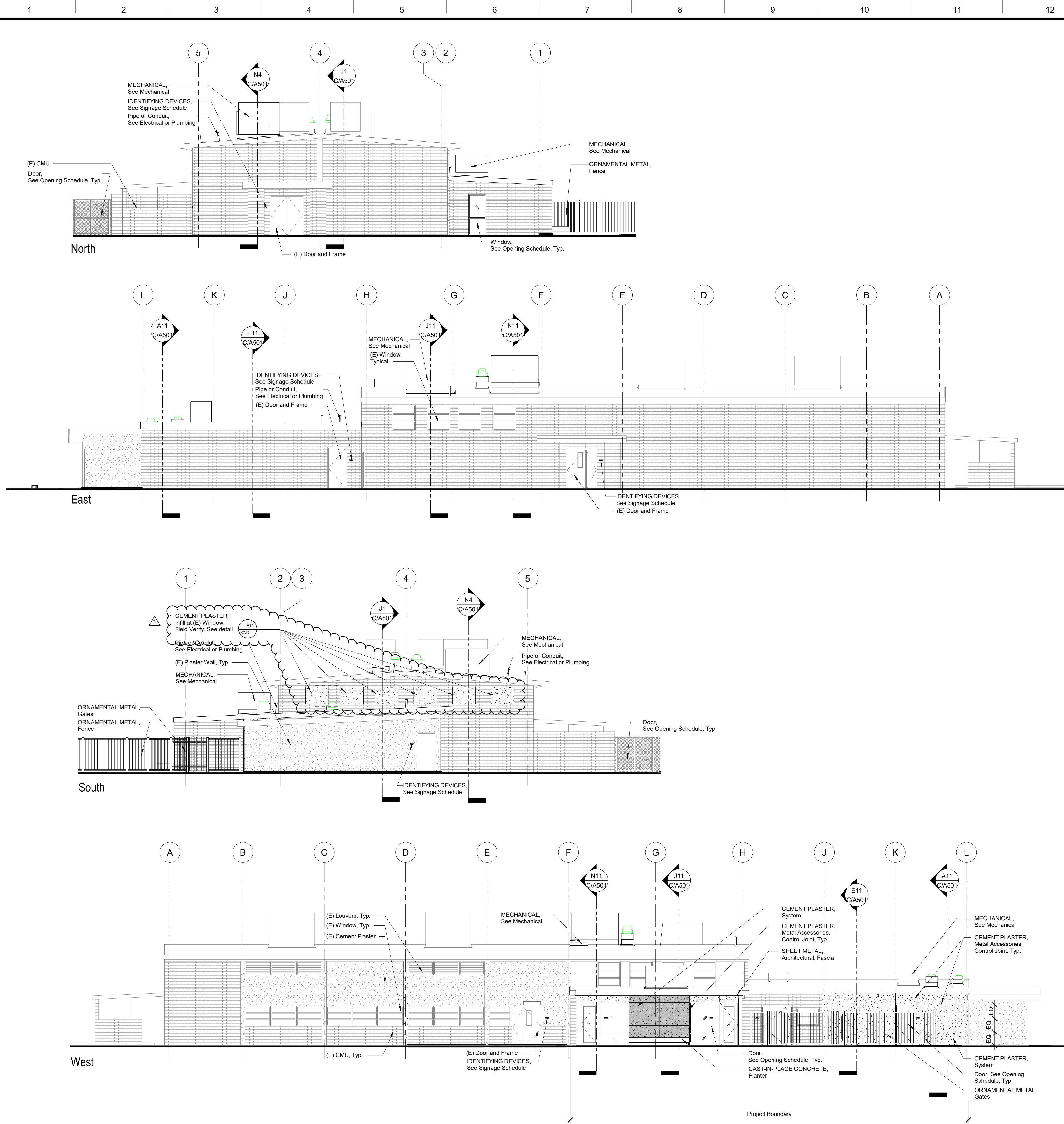
DSA File No.:
20-30

DSA Application No.:
02-120517

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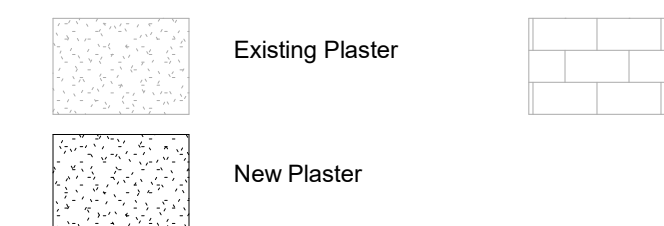
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20-30

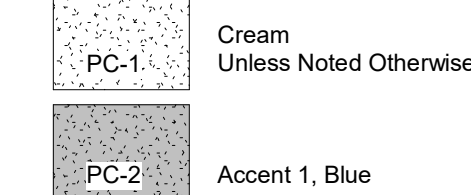
DSA Application No.:
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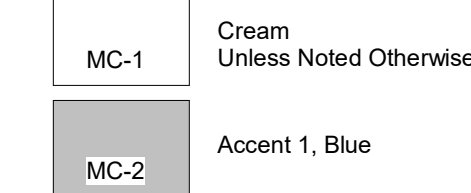
EXTERIOR COLOR LEGEND

Plaster Colors



Plaster walls perpendicular to elevation, not shown elsewhere, shall be the same color as face plane, Unless Noted Otherwise.

Metal Colors



All Hollow Metal Frames to be match adjacent wall.
All Steel and Fabrications to match adjacent wall, UNO.
All METAL DECKING to be MC-1, UNO.
All Metal columns to be MC-1, UNO.

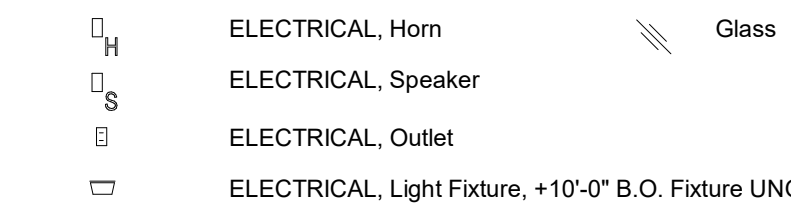
Door Colors

All Doors and Frames to match adjacent surface, UNO.

Color Notes

- XX-X Color Designation.
 - Parapet caps to match color of wall below, UNO.
 - Soffits to match color of outer face wall, UNO.
 - Horizontal soffits adjacent to fascia board shall be PC-1.
- Outer Face Wall
Soffit
Inner Face Wall
- Fascia Board
PC-1

SYMBOLS



ABBREVIATIONS

AFF Above Finished Floor
BO Bottom of
CJ Control Joint
DS Downspout
EJ Expansion Joint
HB PLUMBING, Hose Bibb.
OH Opposite Hand
Sim. Similar
TO Top of
TOM Top of Masonry
TOP Top of Parapet Framing
TOF Top of Framing
TOR Top of Roof
TOS Top of Steel
TPL Top of Plate
Typ. Typical
UNO Unless Noted Otherwise

NOTES

- CEMENT PLASTER, Cement Plaster System, Accessories. Refer to Detail H1 X/A501.
- Refer to Specifications Section Appendix "C" Exterior Color Schedule.
- Refer to Exterior Finish Schedule on Sheet X/A201.

F18

Exterior Elevations Legend

No Scale

**THOMAS JEFFERSON M. S. KITCHEN
REMODEL**
MADERA UNIFIED SCHOOL DISTRICT
Madera, CA

**BUILDING C
EXTERIOR ELEVATIONS**

Drawing

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Architect

No.	Revision/Submission	Date

Revision

Designed By:	-	Copyright © 2023 Darden Architects
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Scale:	As indicated	Drawn By:	-
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Project Number:	2123	Checked By:	-
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Date:	03/28/23	Reviewed By:	-
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**C/A401
AD1-AX03**

A1

Exterior Elevations

1/8" = 1'-0"

A13

Partial South

1/8" = 1'-0"

A15

Partial North

1/8" = 1'-0"

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1234567891011121314151617181920

R

Q

P

N

M

L

K

J

J1

Interior Elevation Legend

No Scale

ABBREVIATIONS

GL Glass
KS Knee Space
OH Opposite Hand
Typ. Typical
Sim. Similar
Dia. Diameter
UNO Unless Noted Otherwise

NOTES

1.

All Details, Materials and Finishes shall be considered typical for all similar conditions Unless Noted Otherwise.

2.

Refer to Plumbing, Mechanical, Food Service, and Electrical for all wall mounted devices and coordinate location and heights with Architectural (i.e. casework, equipment, etc.)

3.

Locate and mount TOILET ACCESSORIES and PLUMBING per detail Unless Noted Otherwise.

4.

Provide backing at all TOILET ACCESSORIES, TOILET PARTITIONS, and IDENTIFYING DEVICES per detail Unless Noted Otherwise.

5.

Provide Backing for TOILET ACCESSORIES, Grab Bars per detail Unless Noted Otherwise.

6.

Locate and mount IDENTIFYING DEVICES per detail Unless Noted Otherwise.

A11

X/A601

Typ

N14

X/A601

Typ

N11

X/A601

Typ

E11

X/A601

Typ

1234567891011121314151617181920

H

G

F

E

D

C

B

A

A4

Interior Elevations

1/4" = 1'-0"

Refer to J1 for Symbols, Abbreviations, and Notes

(E) CMU Wall

PLUMBING, Fixtures, Existing, Reinstall per

TOILET ACCESSORIES, Soap Dispenser, Typ.

TOILET ACCESSORIES, Paper Towel Dispenser, Typ.

5'-8"

NORTH

107 Boys

TILE, Ceramic Tile, Patch to match Existing.

Existing Unrail

TOILET ACCESSORIES, Grab Bar, Typ.

TOILET ACCESSORIES, Toilet Tissue Dispenser, Typ.

TOILET ACCESSORIES, Seat Cover Dispenser, Typ.

EAST

SOUTH

WEST

Existing Toilet

PLUMBING, Fixtures, Existing, Reinstall per

TOILET ACCESSORIES, Grab Bar, Typ.

TOILET ACCESSORIES, Toilet Tissue Dispenser, Typ.

TOILET ACCESSORIES, Seat Cover Dispenser, Typ.

6'-0"

NORTH

108 Girls

TILE, Ceramic Tile, Patch to match Existing.

Existing Lavatory

TOILET ACCESSORIES, Paper Towel Dispenser, Typ.

TOILET ACCESSORIES, Soap Dispenser, Existing, Reinstall per

TOILET ACCESSORIES, Sanitary Napkin Dispenser, Existing, Reinstall per

5'-5"

EAST

SOUTH

WEST

1234567891011121314151617181920

R

Q

P

N

M

L

K

J

J9

Demolition Floor Plan Legend

No Scale

SYMBOLS

Existing Wall

Remove Existing Wall

Remove Existing Building Item (See Demolition Note, Plumbing, Mechanical, and Electrical Drawings)

Room name 101

Room Designation

Demolition Note Symbol

NOTES

1.

See Specifications section, SELECTIVE DEMOLITION, See Plumbing, Mechanical, and Electrical Drawings and Specifications

2.

Remove materials, equipment, and finishes indicated by demolition key notes

3.

Where Demolition work is indicated, contractor shall remove and reinstall any or all items necessary for installation of new work. Existing area affected by demolition work shall be patched and repaired to match Existing construction.

4.

Any damage resulting from the modernization activity shall be corrected at no additional expense to the owner and all surfaces cleaned and readied to receive new work.

5.

Remove, cut, and patch work in a manner to minimize damage and to provide means of restoring products and finishes to original condition.

6.

Where new work abuts or aligns with Existing, make a smooth and even transition. Patch work shall match Existing adjacent work in texture and appearance.

7.

When Finished surfaces are cut so that a smooth transition with new work is not possible, terminate Existing surfaces along a straight line at a natural line of division and make recommendation to the architect.

DEMOLITION NOTES

01

SELECTIVE DEMOLITION, Remove and dispose of Existing Privacy Screen.

02

SELECTIVE DEMOLITION, Remove Existing Toilet Paper Dispenser and salvage to Owner.

03

SELECTIVE DEMOLITION, Remove and dispose of Existing Toilet.

04

SELECTIVE DEMOLITION, Remove Existing Toilet and retain for reinstallation.

05

SELECTIVE DEMOLITION, Remove Existing Paper Towel Dispenser and salvage to Owner.

06

SELECTIVE DEMOLITION, Remove Existing Soap Dispenser and retain for reinstallation.

07

SELECTIVE DEMOLITION, Remove Existing Lavatory and retain for reinstallation.

08

SELECTIVE DEMOLITION, Remove Existing Seat Cover Dispenser and salvage to Owner.

09

SELECTIVE DEMOLITION, Remove Existing Signage and retain for reinstallation.

10

SELECTIVE DEMOLITION, Remove and dispose of Existing Toilet Partition.

11

SELECTIVE DEMOLITION, Remove Existing Sanitary Napkin Dispenser and retain for reinstallation.

12

SELECTIVE DEMOLITION, Remove and Dispose of Existing Lavatory.

1234567891011121314151617181920

R

Q

P

N

M

L

K

J

J12

Building D - Enlarged Demolition Floor Plan - Restrooms

1/4" = 1'-0"

Refer to J9 for Symbols, Abbreviations, and Notes

01

02

03

04

05

06

07

08

09

10

11

12

Boys 107

Girls 108

8'-2"

8'-6"

2'-6"

16'-10"

8'-6"

36" min.

60" min. cl.

30" min. cl.

17 1/2" min. cl.

6'-4 1/4"

6'-5"

17 1/2" min. cl.

16"

48"

IDENTIFYING DEVICES, Existing Type 2a.

IDENTIFYING DEVICES, Existing Type 2c. Reinstall per

IDENTIFYING DEVICES, Existing Type 2a and 2b. Reinstall 2a sign after reversal of door swing

N

1234567891011121314151617181920

R

Q

P

N

M

L

K

J

H

G

F

E

D

C

B

A

H18

Floor Plan Legend

No Scale

DSA File No.: 20-30

DSA Application No.: 02-120517

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SYMBOLS

Limit of Work

(E) Concrete Masonry Unit Wall, 8" wide unless otherwise noted.

(E) Wall to remain.

Stud Wall, Studs and Interior Wall materials continuous from floor to underside of floor or roof deck. Studs at 16" o.c. unless otherwise noted. Interior Wall material shall include Batt Insulation, Sound Deadening Board, Plywood Sheathing, Gypsum Board, and Cement Plaster/ Ceramic Tile setting bed where occurs.

Stud Wall, Studs and finish material continuous from floor to minimum 6" above ceiling. Studs to be braced to underside of roof framing or deck if not required to be continuous to roof framing or deck. Studs at 16" o.c. Unless Otherwise Noted. See Structural for bracing and extent of Structural Sheathing.

1 Hr. Corridor Wall - Fire Partition (1 Hr. Fire Resistive Construction, 20 Min. Door Assemblies, 45 Min. Window Assemblies)

0

Reference Grid

Opening Group No. Refer to Door or Window Opening Schedules

Room name 101

Room Designation

Wall Assembly Symbols. Refer to Sheet X/A101

Reference Point

ABBREVIATIONS

FF Face of Finish
FOC Face of Concrete
FD Floor Drain
FOM Face of Masonry
FOS Face of Stud
FS Floor Sink
HB Hose Bib
MO Masonry Opening
UNO Unless Noted Otherwise
RO Rough Opening
Typ. Typical
Sim. Similar
OH Opposite Hand

NOTES

1.

All Exterior Walls shall be Wall Assembly Type $\frac{4A}{EW}$ Unless Noted Otherwise.

2.

All Interior Walls shall be Wall Assembly Type $\frac{4A}{LW}$ Unless Noted Otherwise.

3.

All Dimensions are to Face of Stud (FOS) or Center Line, Unless Noted Otherwise.

4.

All Elevation Dimensions are above Finish Floor at each floor level, Unless Noted Otherwise.

5.

Dimensions noted as "+/-" are nominal.

THOMAS JEFFERSON M. S. KITCHEN
REMODEL
MADERA UNIFIED SCHOOL DISTRICT
Madera, CA

Project

BUILDING D
FLOOR AND REFLECTED CEILING PLAN

Drawing

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LICENSED ARCHITECT
THOMAS J. KITCHEN
No. 026055
Exp. 10-31-25
STATE OF CALIFORNIA

Architect

No.

Revision/Submission

Date

Revision

Designed By: -

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Scale: As indicated

Drawn By: -

Project Number: 2123

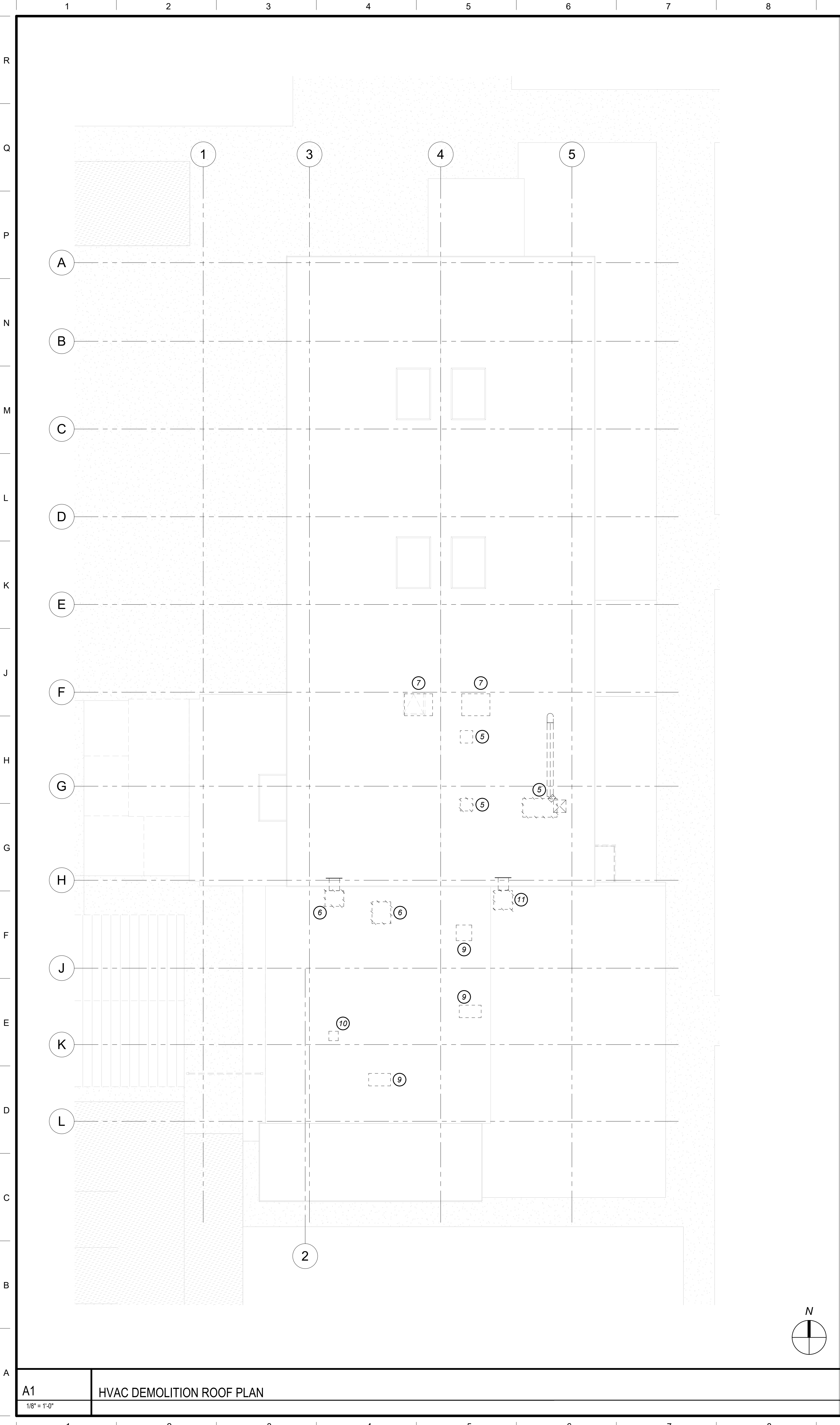
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Date: 03/28/23

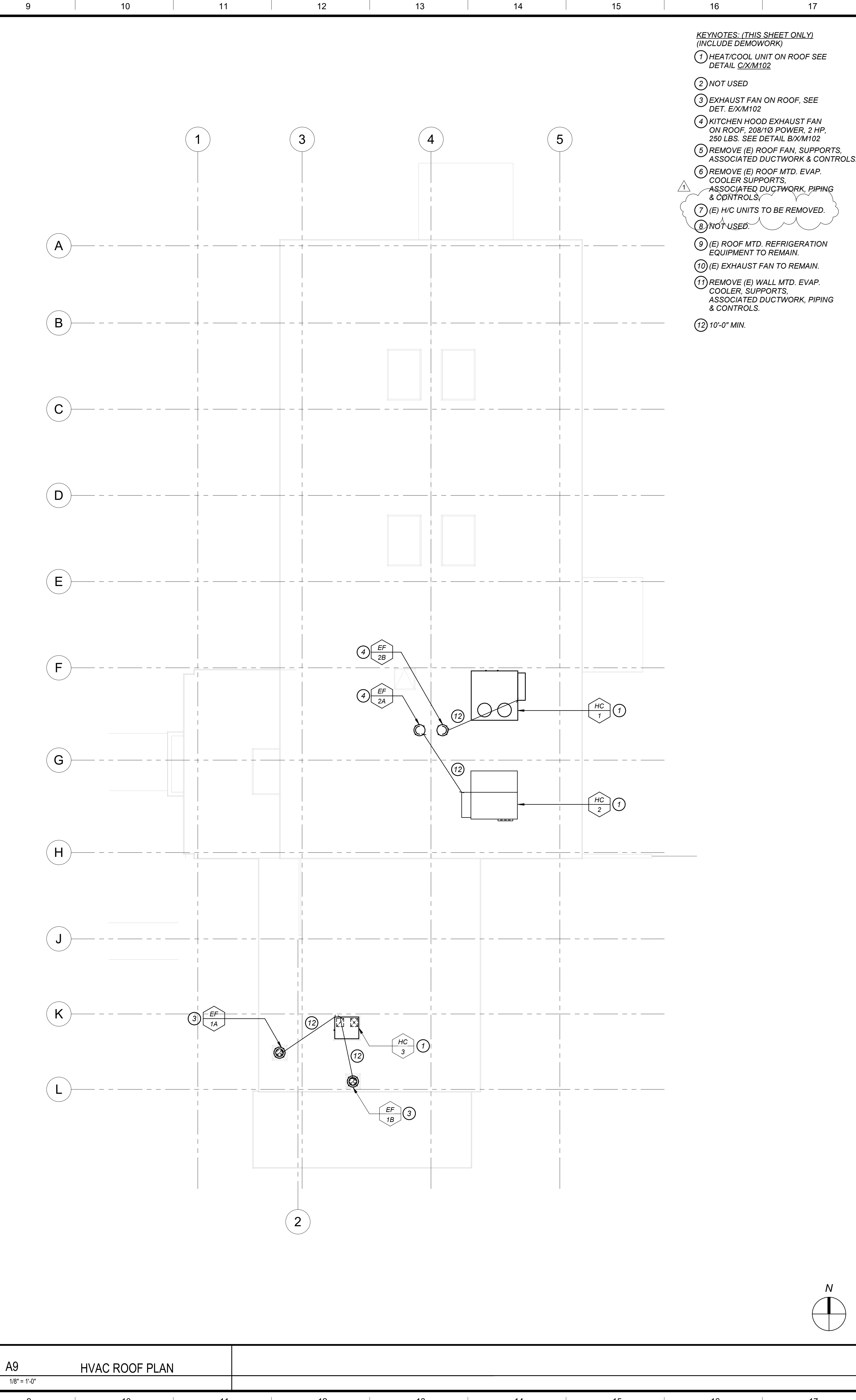
Reviewed By: -

D/A101
AD1-AX04

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A1 HVAC DEMOLITION ROOF PLAN



A9 HVAC ROOF PLAN

- KEYNOTES: (THIS SHEET ONLY)**
(INCLUDE DEMOWORK)
- ① HEAT/COOL UNIT ON ROOF SEE DETAIL Q/X/M102
 - ② NOT USED
 - ③ EXHAUST FAN ON ROOF, SEE DET. EX/M102
 - ④ KITCHEN HOOD EXHAUST FAN ON ROOF, 208/10 POWER, 2 HP, 250 LBS. SEE DETAIL B/X/M102
 - ⑤ REMOVE (E) ROOF FAN, SUPPORTS, ASSOCIATED DUCTWORK & CONTROLS.
 - ⑥ REMOVE (E) ROOF MTD. EVAP. COOLER SUPPORTS, ASSOCIATED DUCTWORK, PIPING & CONTROLS.
 - ⑦ (E) H/C UNITS TO BE REMOVED.
 - ⑧ NOT USED.
 - ⑨ (E) ROOF MTD. REFRIGERATION EQUIPMENT TO REMAIN.
 - ⑩ (E) EXHAUST FAN TO REMAIN.
 - ⑪ REMOVE (E) WALL MTD. EVAP. COOLER, SUPPORTS, ASSOCIATED DUCTWORK, PIPING & CONTROLS.
 - ⑫ 10'-0" MIN.

DSA File No.:
20-30

DSA Application No.:
02-120517

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General Notes

LAWRENCE

ENGINEERING GROUP

1801 N. Maple Ave., Suite 101
93703-4011-0101

REGISTERED PROFESSIONAL ENGINEER

W. CALIFORNIA

EXPIRATION DATE: 6-30-24

EXPIRATION DATE: 6-30-24

PROJECT: 21188

PROJECT: 21188

Consultant

THOMAS JEFFERSON MIDDLE SCHOOL

KITCHEN REMODEL

MADRERA UNIFIED SCHOOL DISTRICT, Project

Madera, CA

BUILDING A

HVAC ROOF DEMOLITION PLAN & NEW HVAC ROOF PLAN

Drawing

ARCHITECTURE

PLANNING

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LICENCED ARCHITECT

ANDRÉS J. AVILA

No. C46335

Exp. 12-31-25

STATE OF CALIFORNIA

Architect

No.	Revision/Submission	Date
1	ADDENDUM 01	5-10-23

Revision

Designed By: L.B.

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Scale: 1/8" = 1'-0"

Drawn By: LEG

Project Number: 2123

Checked By: D.M.

Date: 07/12/22

Reviewed By: R.C.

M/C301

AD1-MX01